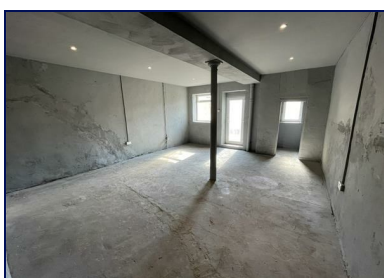
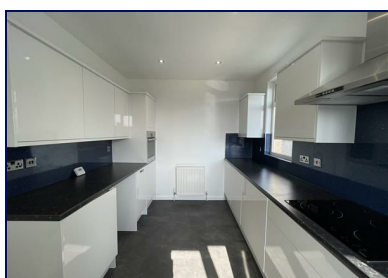


70 Mansel Street, Llanelli, SA15 1DB



Asking price £169,950



An unusual property, set over three floors, providing good living space which has been refurbished throughout. The property benefits from a separate entrance to the front leading to a generous sized basement room which lends itself to various uses, such as extending to further living space or potential for possible business use (subject to correct planning).
The accommodation consists of Two Entrance Hallways, Lounge, Sitting Room, Bathroom, Kitchen & Three Bedrooms. Externally there is a low maintenance rear courtyard. Viewing By Appointment.
EPC: D Square Metres: 134 Council Tax: B

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Entrance Hallway

Via uPVC double glazed entrance door, laminate flooring, smooth ceiling with spot lighting, door to second hallway, storage cupboard with sliding doors and hanging space, steps to first floor, radiator.



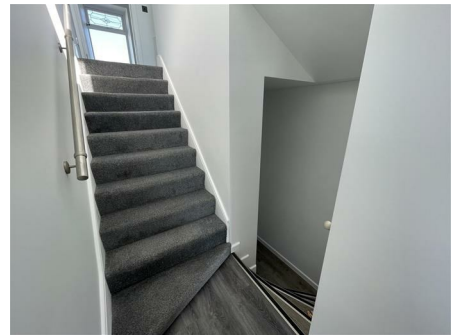
Lounge

19'9" x 9'8" (6.04 x 2.97)

Laminate flooring, smooth ceiling, two radiators, uPVC double glazed window to front.



First Floor



Sitting Room/Diner

19'9" x 9'0" (6.03 x 2.75)

uPVC double glazed window to side & rear, radiator, laminate flooring, smooth ceiling.



Bathroom

Fitted with a four piece suite comprising of wash hand basin in vanity unit, low level W.C., shower cubicle and panelled bath, partly tiled walls, linoleum flooring, extractor fan, smooth ceiling, heated towel rail.



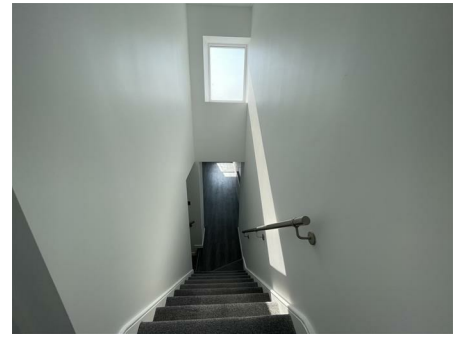
Kitchen

13'5" x 8'9" (4.09 x 2.69)

Fitted with a range of base & wall units with complimentary worksurface over, built in electric oven, grill & 4 ring hob with extractor hood over, space for fridge/freezer, Respatex over worksurface, composite sink unit, radiator, cupboard housing wall mounted gas central heating boiler, uPVC double glazed window to side & rear, smooth ceiling with spotlighting.



Second Floor



Landing

Access to attic space, radiator, uPVC double glazed window to rear, smooth ceiling with spotlighting.

Bedroom 1

13'7" x 8'3" (4.15 x 2.54)

uPVC double glazed window to rear, smooth ceiling, radiator.



Bedroom 2

9'8" x 10'11" (2.97 x 3.34)

uPVC double glazed window to front, smooth ceiling, radiator.



Bedroom 3

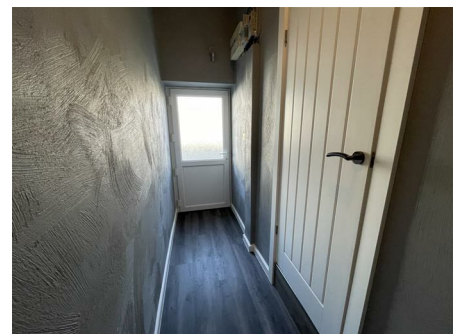
7'0" x 7'6" (2.14 x 2.29)

uPVC double glazed window to front, smooth ceiling, radiator.



Separate Entrance Hallway

Via uPVC double glazed entrance door with obscure glass, smooth ceiling, laminate flooring, steps down to:



Basement

16'9" x 15'5" (5.11 x 4.72)

Power & spot lighting, uPVC double glazed door to rear, door to further basement room with lighting, opening to further storage room with low level W.C., uPVC double glazed window to rear with obscure glass.



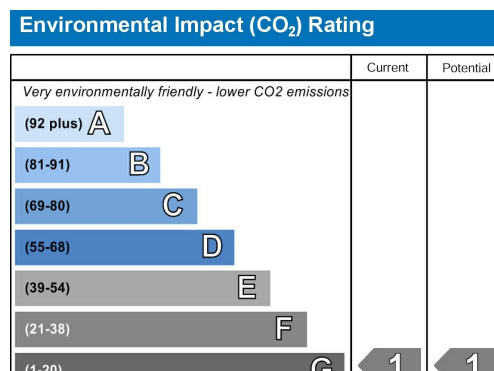
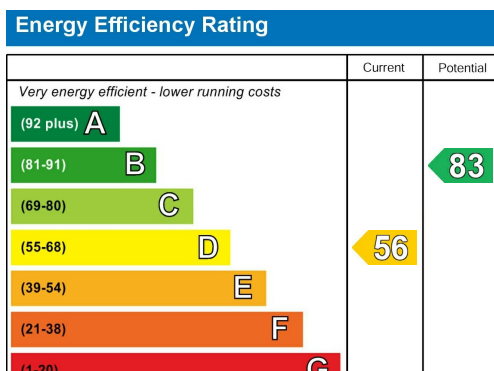
External

Rear enclosed courtyard, outside tap.



Services

Mains gas, electric, water & drainage.



You are welcome to view this property Please contact this office to arrange an appointment.

Please note: All sizes herein are approximate, please double check if they are critical to you. Prospective purchasers must satisfy themselves as to the accuracy of these brief details before entering into any negotiations or contract to purchase. We cannot guarantee the condition or performance of electrical and gas fittings and appliances where mentioned in the property. Please contact us should you have any specific enquiry relating to condition, aspect, views, garden etc., particularly if travelling distances to view.

NONE OF THE STATEMENTS CONTAINED IN THESE PARTICULARS ARE TO BE RELIED ON AS STATEMENTS OR REPRESENTATIONS OF FACT

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